



SOUTHSIDE CATALYST PLAN UPDATE

From: Karin Murphy, Director of the Urban Design Studio

Date: November 20, 2014

One of the objectives of the City of Sarasota's Strategic Plan is to revise/rewrite the City's zoning code into a format that is easy to interpret and apply, and that incorporates form-based zoning code philosophies and districts. The Urban Design Studio has worked with staff and community stakeholders to begin this initiative through a series of Catalyst Plans. Five geographic areas were identified to use as demonstration areas where form-based coding could assist in meeting community goals of walkable infill development in areas poised for redevelopment.



Working with the Arlington Park Neighborhood Association and property owners, the Southside Catalyst Plan began in September of 2013. The Urban Design Studio (UDS) met with stakeholders and began the process of public outreach and education to enable participants to assist in calibrating the districts. The Studio designers spent the fall and winter of 2013/14 studying the area, conducting walking audits, and running mapping exercises to create the Sarasota Transect Zones, with a particular focus on those that would be appropriate for the Catalyst areas. These were recently presented at a November 15th work session at the Waldemere Fire Station and at the Association's annual meeting on November 18, 2014.

To make sure that community outreach continued to be a major focus of the initiative UDS helped the association to create a newsletter that was mailed to residents. It contained an overview and update of the project as well as information on a Zoning Text Amendment requested by the neighborhood for new single family construction standards regulating garage placement. UDS will be taking this amendment forward to the Commission on December 1st for authorization to process. If authorization is provided the amendment will be immediately filed and will proceed to the Planning Board and City Commission for public hearings to enable adoption.

Additionally, graphic illustrations and change-over-time renderings helped participants re-envision the Tamiami Trail as a multi-modal mixed use corridor. One of the properties that have struggled with redeveloping under conventional zoning is the Cabana Inn. The setbacks and building configuration requirements currently in place have not produced a satisfactory project for the neighborhood or the developer. The Studio has been working with the stakeholders to help demonstrate how form-based coding and a new transect zone could help create a project that can hopefully gain the consensus of both groups and enhance the corridor.

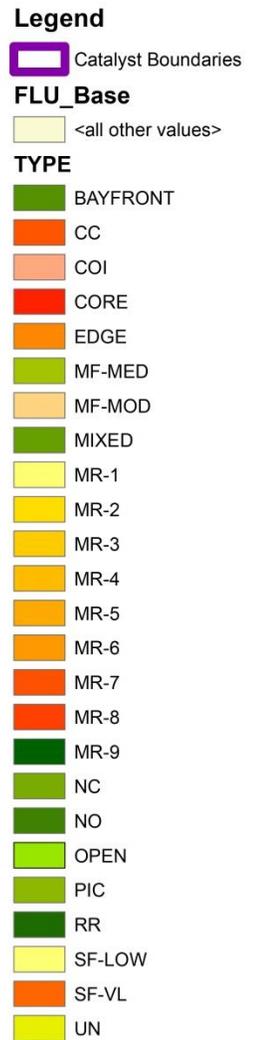
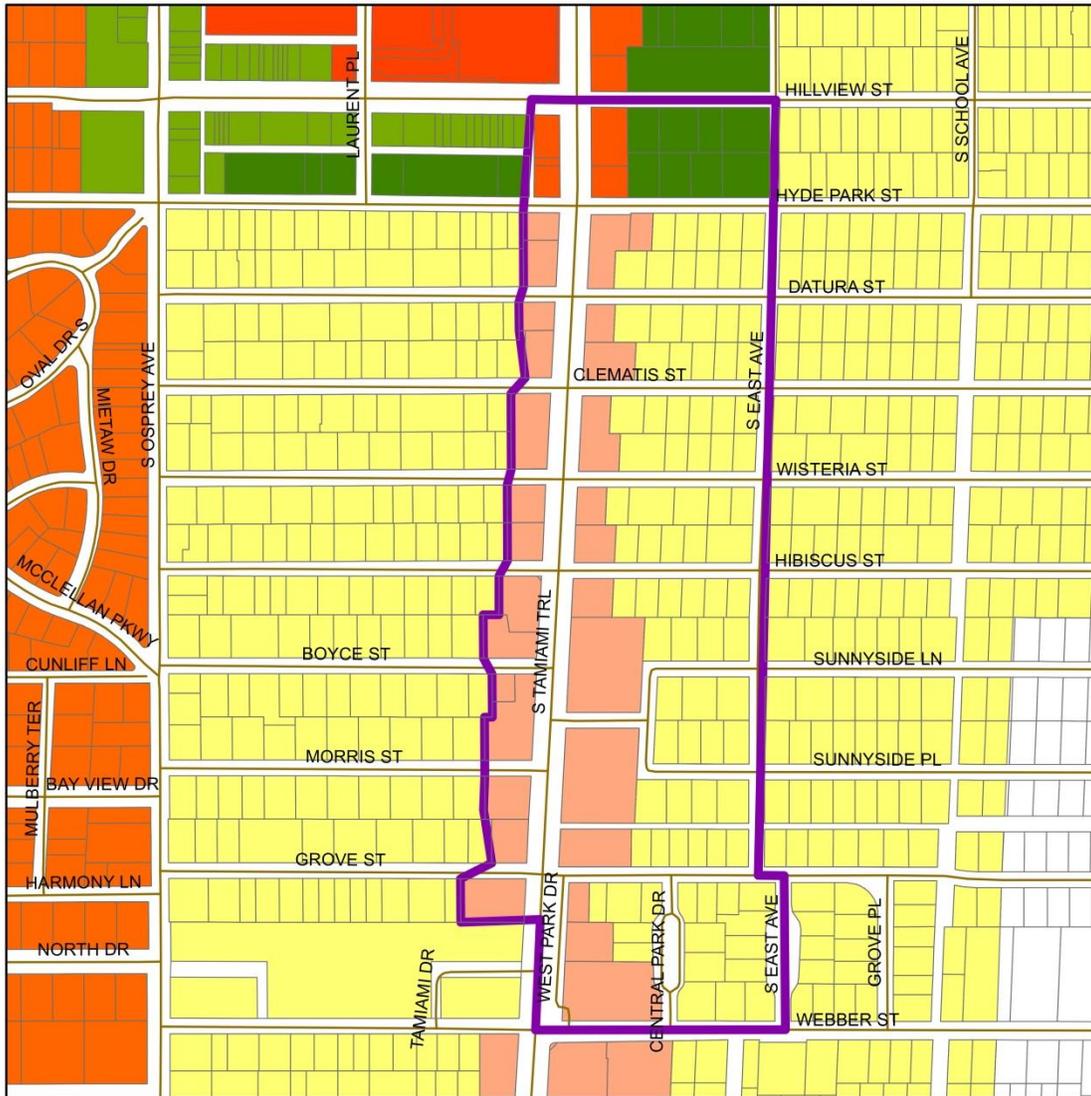
The studio will spend the next few months finalizing the draft Catalyst Plan to take back to the stakeholders for input while continuing to work with other groups within the City on their plans. Attached are some of the graphics and draft Transect Zones presented during these South Sarasota sessions.



Current Future Land Use

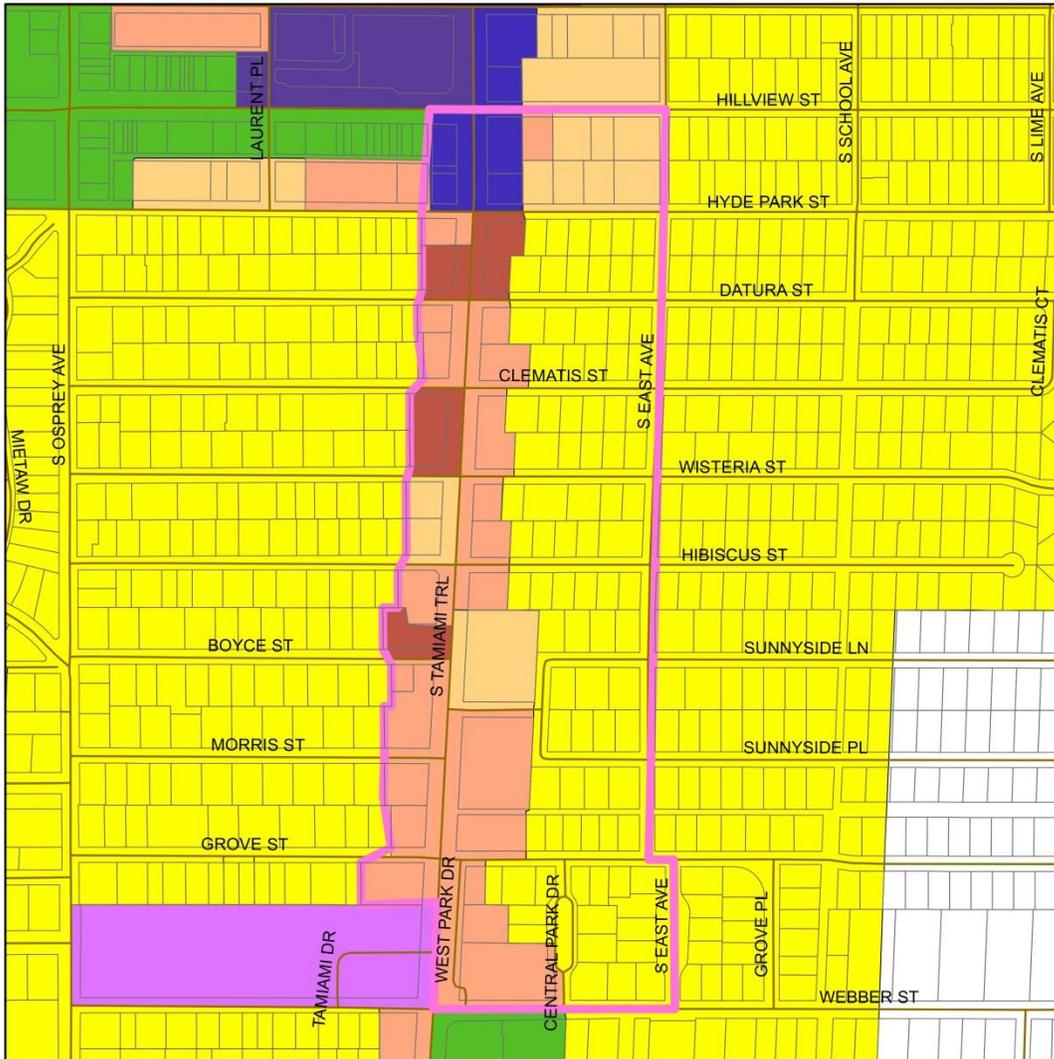
Southside

Current Future Land Use



Current Zoning

Southside Current Zoning



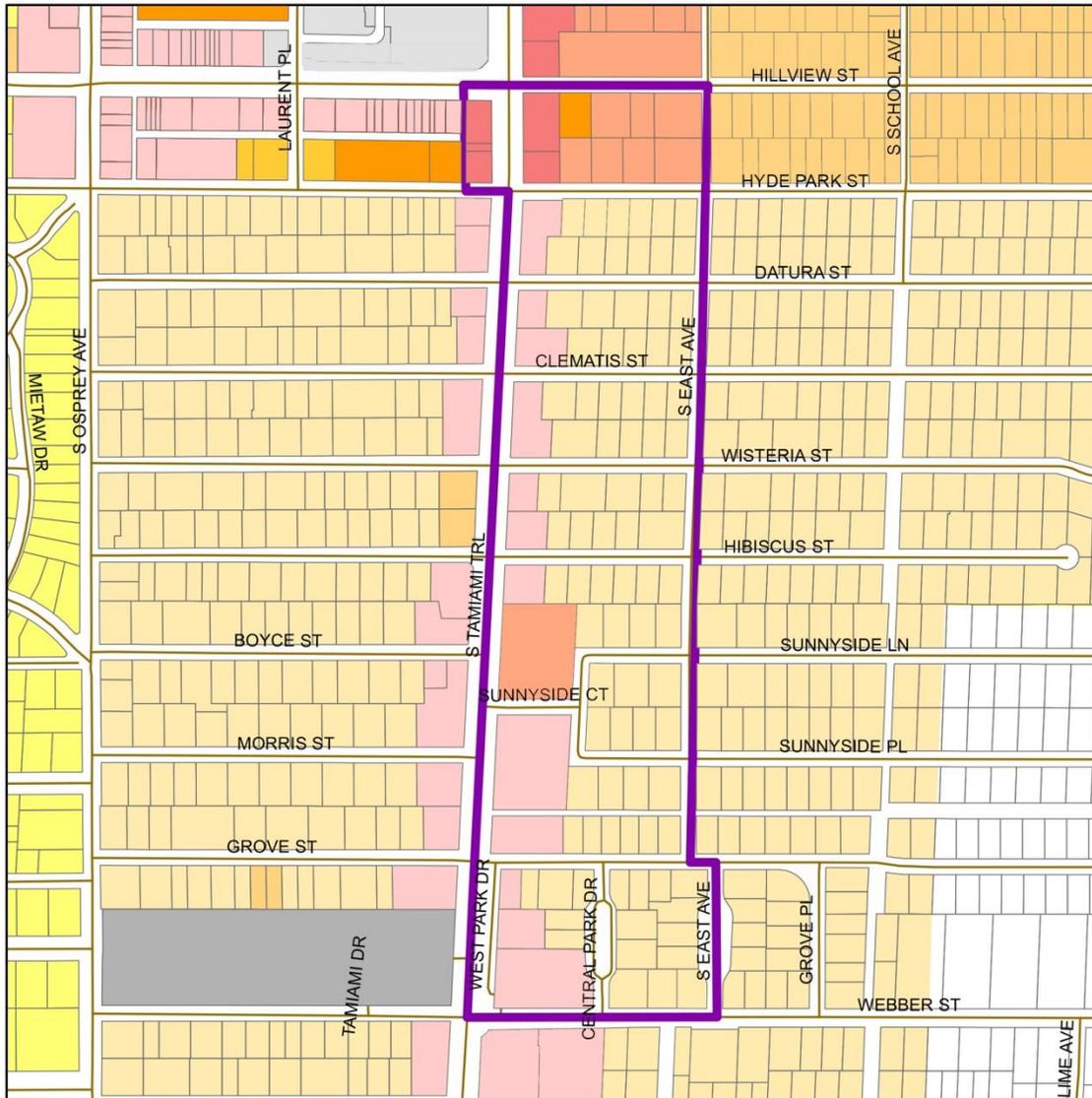
Legend

- Catalyst Boundaries
- <all other values>

CODE

 <Null>	 MCI
 CBN	 NONE
 CG	 NT
 CGD	 OCD
 CI	 OND
 CN	 OP
 CND	 OPB
 CP	 OPB-1
 CRD	 ORD
 CRT	 POS
 CSC	 RMF-1
 CSC-C	 RMF-2
 CSC-N	 RMF-3
 CSC-R	 RMF-4
 CT	 RMF-5
 DTB	 RMF-R
 DTC	 RSF-1
 DTE	 RSF-2
 DTN	 RSF-3
 G	 RSF-4
 I	 RSF-E
 ICD	 RSM-9
 IGD	 RTD-9
 IHD	 SMH
 ILW	 WFR

Straight Translation



Southside
Straight Translation

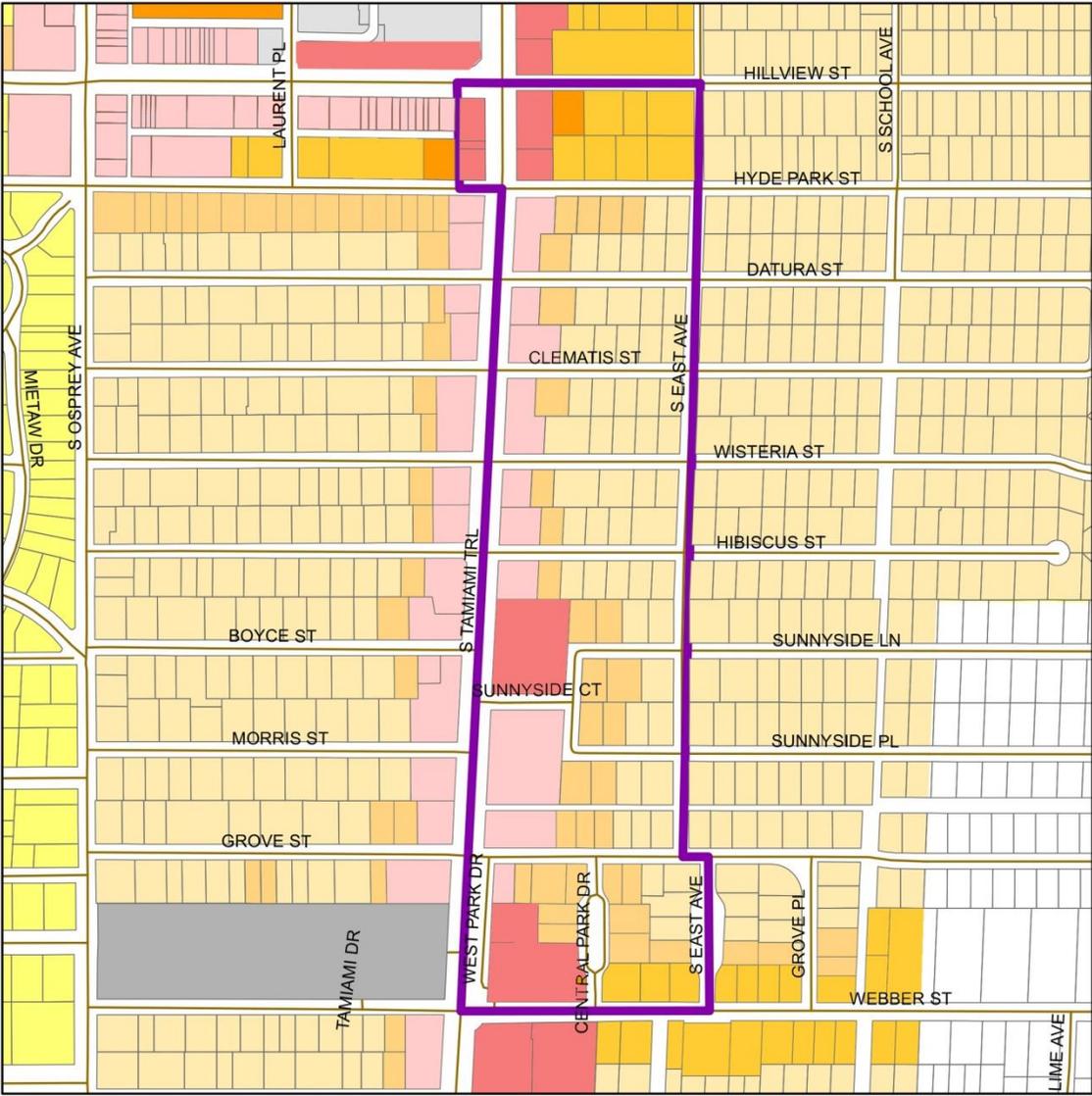
Legend

- <all other values>
- Transect**
- CI
- CS
- T1
- T3-R
- T3.1-0
- T3.2-0
- T4-R
- T4.1-0
- T4.2-0
- T5-R
- T5.1-0
- T5.2-0
- T6-10
- T6-18
- Catalyst Boundaries

Calibrated Zoning

Southside

Calibrated Zoning



Legend

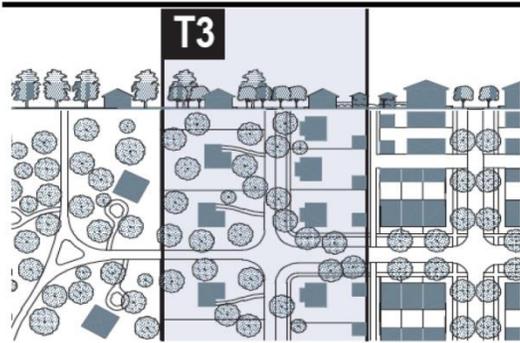
<all other values>

Transect

- CI
- CS
- T1
- T3-R
- T3.1-0
- T3.2-0
- T4-R
- T4.1-0
- T4.2-0
- T5-R
- T5.1-0
- T5.2-0
- T6-10
- T6-18
- Catalyst Boundaries

T3.2-0

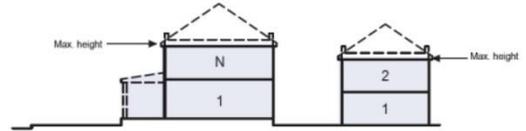




(See Table 1)

BUILDING HEIGHT

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First story height and upper story height shall be a minimum of 9 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished first floor height 2.5 ft.



I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use

k. BUILDING HEIGHT (See Table 8)

Principal Building	2 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

Lot Width	50 ft. min.
Lot Coverage	35% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Principal	15 ft. min., 25 ft. max.
(g.2) Front Setback Secondary	12 ft. min.
(g.3) Side Setback	6 ft. min.
(g.4) Rear Setback	15 ft. min. *
Frontage Buildout	40% min. at setback

h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	3 ft. min. or 6 ft. at corner
(h.3) Rear Setback	4 ft. min. *

j. PRIVATE FRONTAGES (See Table 7)

Porch & Fence	permitted
Scoop	not permitted
Shopfront & Awning/ Marquis	not permitted
Gallery	not permitted
Arcade	not permitted

Refer to Summary Table 14

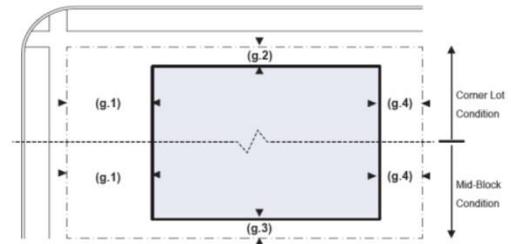
PARKING PROVISIONS

(See Table 10 & 11)

* or 15 feet from center line of alley right away or easement.
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums.

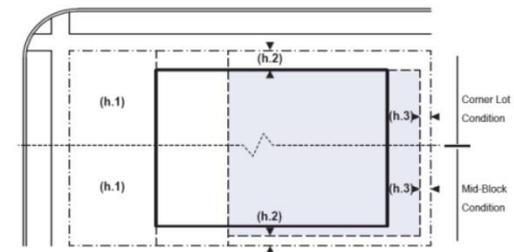
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



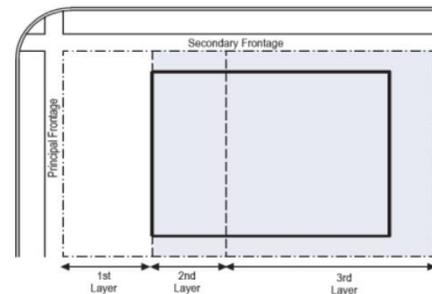
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the second and third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d). Side- or rear-entry garages may be allowed in the first or second Layer by Adjustment.
3. Trash containers shall be stored within the third Layer.



T4-R Mostly Detached



T4-R Mostly Attached

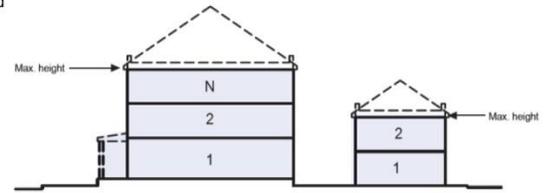




(See Table 1)

BUILDING HEIGHT

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First Story height shall be a minimum of 10 ft. The upper floor height shall be a minimum of 9 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished first floor height 3 ft.



I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use

k. BUILDING HEIGHT (See Table 8)

Principal Building	3 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

Lot Width Detached	30 ft. min.
Lot Coverage Detached	50% max.
Lot Width Attached	20 ft. min.
Lot Coverage Attached	75% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Primary	6 ft. min., 18 ft. max.
(g.2) Front Setback Secondary	6 ft. min., 18 ft. max.
(g.3) Side Setback Detached	4 ft. min.
(g.3) Side Setback Attached	0 ft. min.
(g.4) Rear Setback	4 ft. min. *
Frontage Buildout Primary	60% min. at setback
Frontage Buildout Secondary	50% min.

h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft. at corner
(h.3) Rear Setback	3 ft. min. *

j. PRIVATE FRONTAGES (See Table 7)

Porch & Fence	permitted
Stoop	permitted
Shopfront & Awning/ Marquis	not permitted
Gallery	not permitted
Arcade	not permitted
Refer to Summary Table 14	

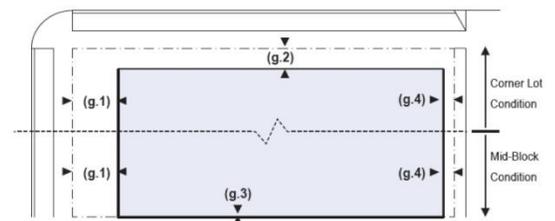
PARKING PROVISIONS

(See Table 10 & 11)

* or 15 feet from center line of alley right away or easement.
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums.

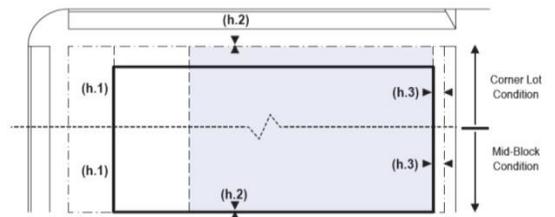
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



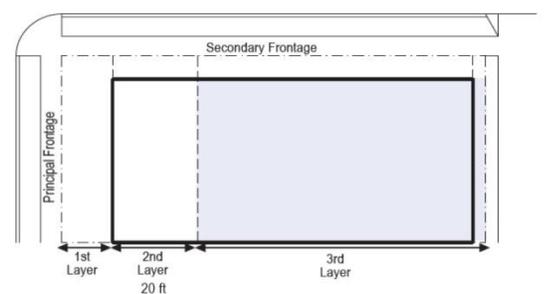
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



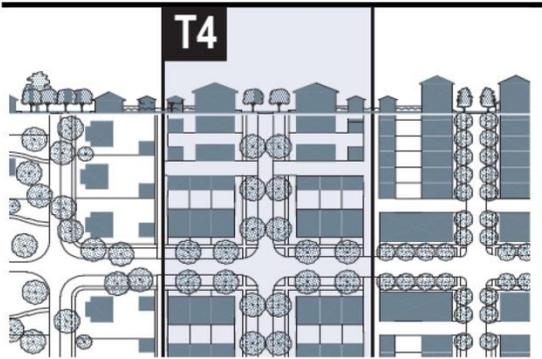
PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



T4.1-0

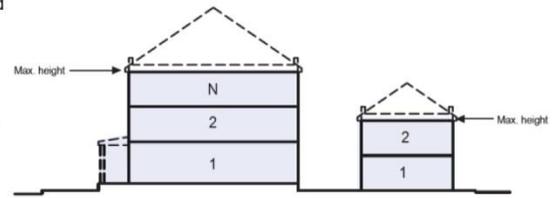




(See Table 8)

BUILDING HEIGHT PRE-BONUS

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First Story height shall be a minimum of 10 ft. The upper floor height shall be a minimum of 9 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished floor height 3 ft.



I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	limited use
Lodging	limited use
Office	limited use

k. BUILDING HEIGHT (See Table 8)

Principal Building	3 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

Lot Width Detached	30 ft. min.
Lot Coverage Detached	50% max.
Lot Width (Attached)	16 ft. min.
Lot Coverage (Attached)	75% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Primary	5 ft. min., 15 ft. max.
(g.2) Front Setback Secondary	5 ft. min., 20 ft. max.
(g.3) Side Setback Detached	5 ft. min.
(g.3) Side Setback Attached	0 ft. min.
(g.4) Rear Setback	3 ft. min. *
Frontage Buildout	60% min. at setback

h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft. at corner
(h.3) Rear Setback	3 ft. min. *

j. PRIVATE FRONTAGES (See Table 7)

Porch & Fence	permitted
Stoop	permitted
Shopfront & Awning/ Marquis	not permitted
Gallery	not permitted
Arcade	not permitted

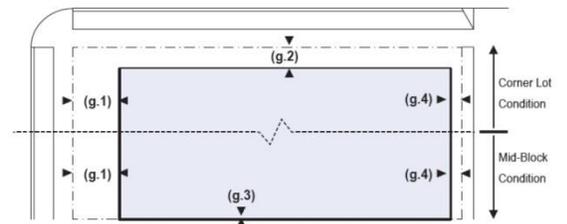
PARKING PROVISIONS

(See Table 10 & 11)

* or 15 feet from center line of alley right away or easement.
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums.

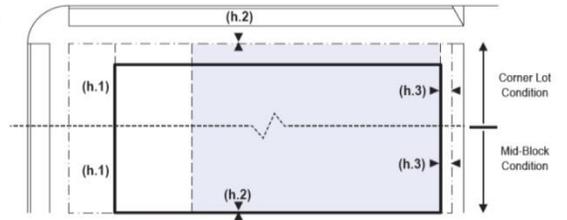
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



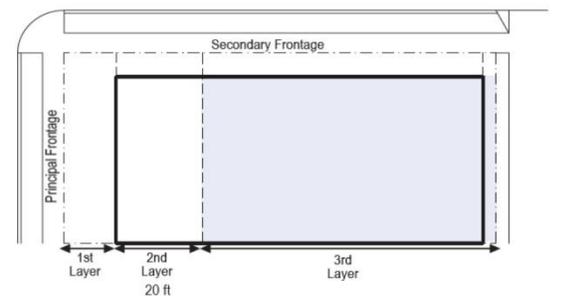
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



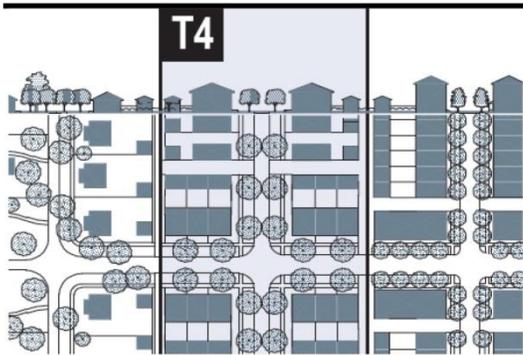
PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



T4.2-0

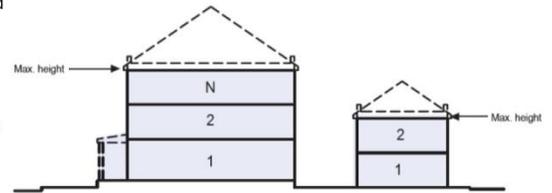




(See Table 1)

BUILDING HEIGHT

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First Story height shall be a minimum of 10 ft. The upper floor height shall be a minimum of 9 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished first floor height 3 ft.



I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use

k. BUILDING HEIGHT (See Table 8)

Principal Building	4 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

Lot Width Detached	30 ft. min.
Lot Coverage Detached	50% max.
Lot Width Attached	16 ft. min.
Lot Coverage Attached	75% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Primary	5 ft. min., 15 ft. max.
(g.2) Front Setback Secondary	5 ft. min., 15 ft. max.
(g.3) Side Setback Detached	5 ft. min.
(g.3) Side Setback Attached	0 ft. min.
(g.4) Rear Setback	3 ft. min. *
Frontage Buildout	60% min. at setback

h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft. at corner
(h.3) Rear Setback	3 ft. min. *

j. PRIVATE FRONTAGES (See Table 7)

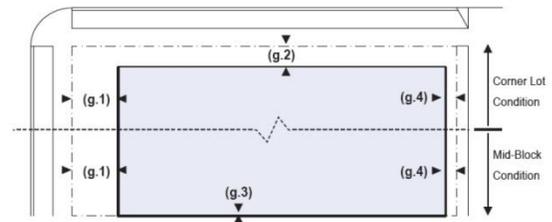
Porch & Fence	permitted
Stoop	permitted
Shopfront & Awning/ Marquis	permitted
Gallery	not permitted
Arcade	not permitted
	Refer to Summary Table 14

PARKING PROVISIONS

(See Table 10 & 11)

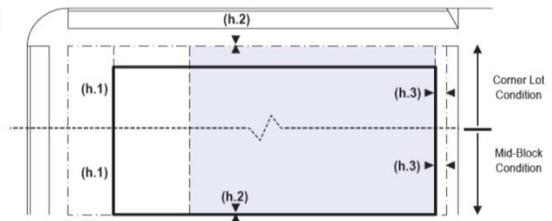
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



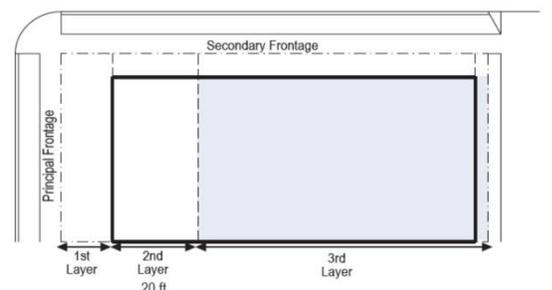
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



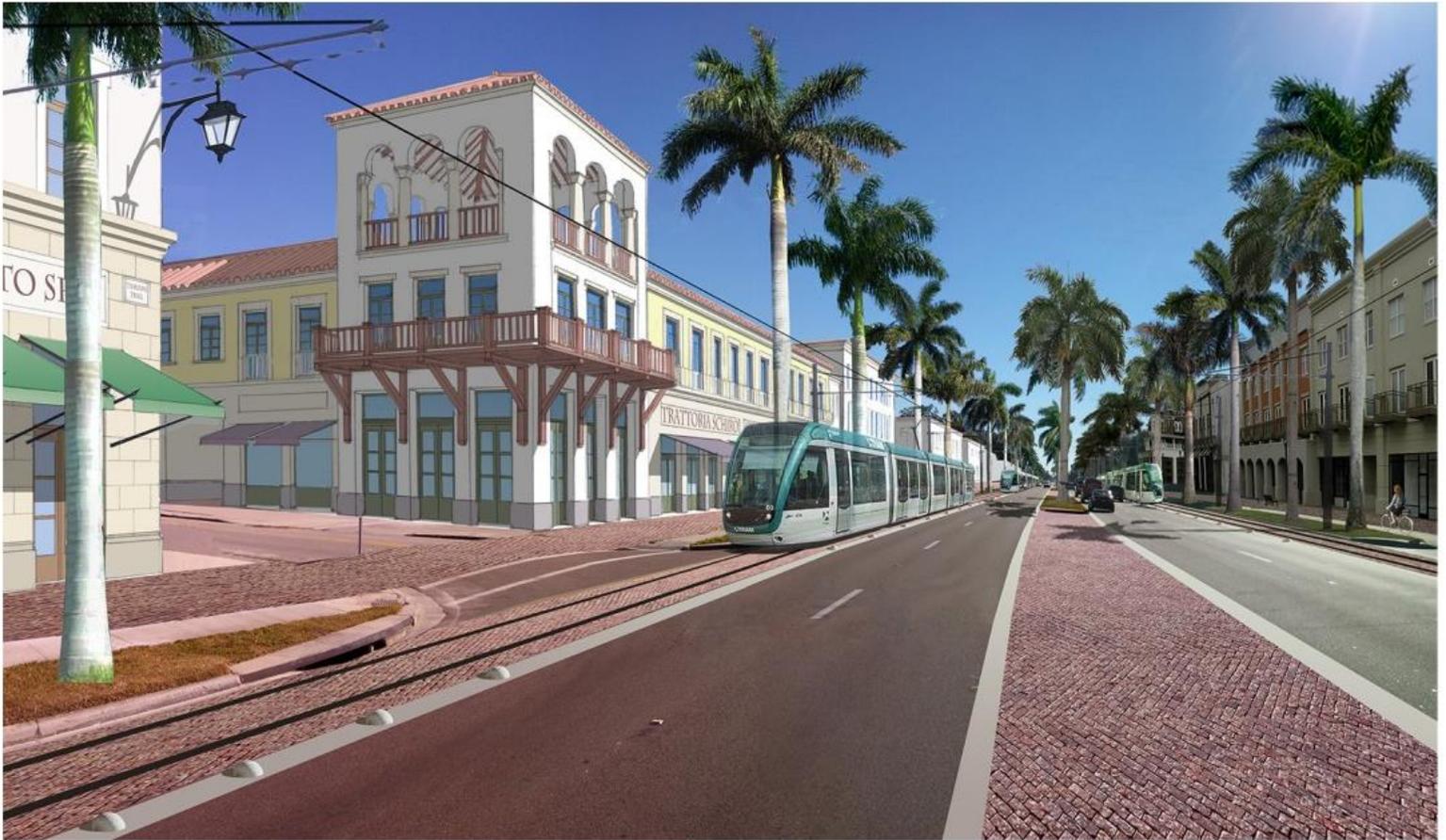
PARKING PLACEMENT

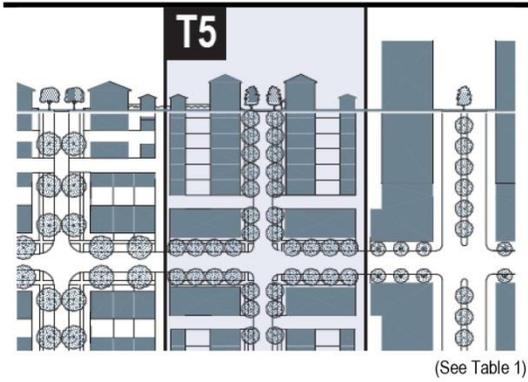
1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



* or 15 feet from center line of alley right away or easement.
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums.

T5.1-0





BUILDING HEIGHT

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First story height shall be a minimum of 12 ft. and a maximum of 25 ft. The upper story height shall be a minimum of 10 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished first floor height 3 ft.

I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING HEIGHT (See Table 8)

Principal Building	3 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

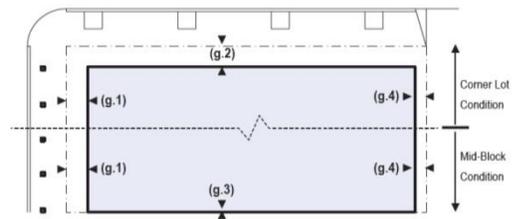
Lot Width	N/A
Lot Coverage	85% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Principal	0 ft min., 10 ft max. (Along Tamiami Trail, Tuttle, Fruitville east of 301: 8 ft. min., 15 ft. max., in order to provide for sidewalk. Current sidewalk becomes cycle track. Building may have arcade or gallery encroaching First Layer.)
(g.2) Front Setback Secondary	0 ft. min., 10 ft. max.
(g.3) Side Setback	0 ft min., 24 ft max.
(g.4) Rear Setback	3 ft min. *
Frontage Buildout	80% min. at setback

SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.

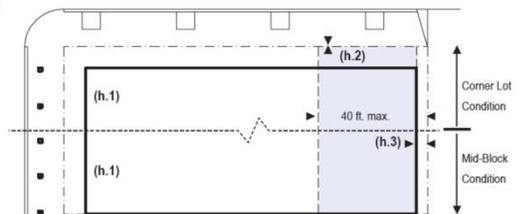


h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft. at corner
(h.3) Rear Setback	3 ft. max. *

SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



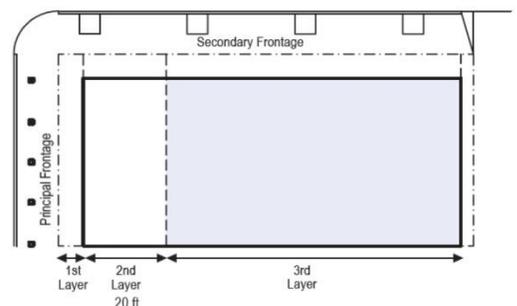
j. PRIVATE FRONTAGES (See Table 7)

Porch & Fence	not permitted
Stoop	permitted
Shopfront & Awning/ Marquis	permitted
Gallery	permitted
Arcade	not permitted

Refer to Summary Table 14

PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



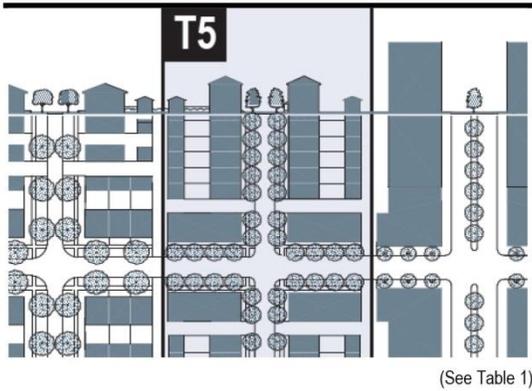
PARKING PROVISIONS

(See Table 10 & 11)

* or 15 feet from center line of alley right away or easement.
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums.

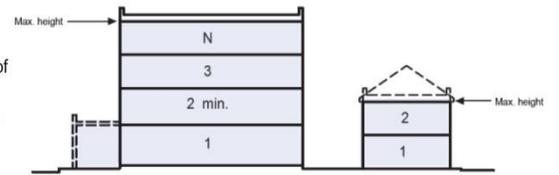
T5.2-0





BUILDING HEIGHT

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. For calculation purposes, one story is up to 14 ft.
3. First story height shall be a minimum of 12 ft. and a maximum of 25 ft. The upper story height shall be a minimum of 10 ft.
4. Height shall be measured to the eave or roof deck as specified on Table 8.
5. Minimum residential finished first floor height 3 ft.



I. BUILDING FUNCTION (See Table 10 & Table 12)

Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING HEIGHT (See Table 8)

Principal Building	5 stories max.
Outbuilding	2 stories max.

f. LOT OCCUPATION (See Table 14f)

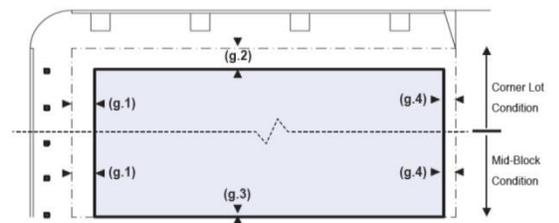
Lot Width	N/A
Lot Coverage	85% max.

g. SETBACKS - PRINCIPAL BUILDING (See Table 14g)

(g.1) Front Setback Principal	0 ft. min., 10 ft. max. (Along Tamiami Trail, Tuttle, Fruitville east of 301: 8 ft. min., 15 ft. max., in order to provide for sidewalk. Current sidewalk becomes cycle track. Building may have arcade or gallery encroaching First Layer.)
(g.2) Front Setback Secondary	0 ft. min., 10 ft. max.
(g.3) Side Setback	0 ft. min., 24 ft. max.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	80% min. at setback

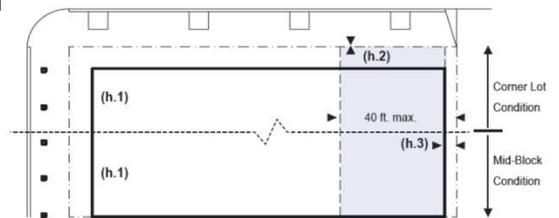
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



h. SETBACKS - OUTBUILDING (See Table 14h)

(h.1) Front Setback Principal	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft. at corner
(h.3) Rear Setback	3 ft. max. *

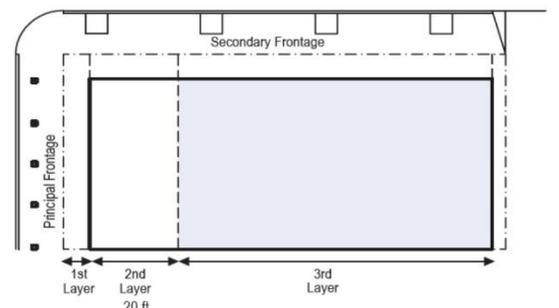
j. PRIVATE FRONTAGES (See Table 7)

Porch & Fence	not permitted
Stoop	permitted
Shopfront & Awning/ Marquis	permitted
Gallery	permitted
Arcade	not permitted

Refer to Summary Table 14

PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram (see Table 17d).
2. Covered parking shall be provided within the third Layer as shown in the diagram (see Table 17d).
3. Trash containers shall be stored within the third Layer.



* or 15 feet from center line of alley right away or easement.

"N" stands for any Stories above those shown, up to the maximum.
Refer to metrics for exact minimums and maximums.

Arlington Park Garage and Carport ZTA

Arlington Park design standards in the RSF-2, RSF-3 and RSF-4 zone district.

(1) Purpose:

The design standards preserve and enhance the residential character of the district. Exhibit VI-203 identifies the zone district(s) where this regulation applies.

(2) When regulations apply:

- a. New Development. These regulations apply to all new development within the Arlington Park Neighborhood as depicted in Exhibit VI-203.
- b. Expansion and Remodeling.
 - i. Expansion: Any expansion of existing buildings shall comply with the design standards related to garages and carports. These regulations shall apply only to the new expanded portion of a building.
 - ii. Exterior Remodel: Any exterior remodeling of existing buildings shall comply with these design standards which are applicable to the scope of a particular project. These regulations shall not apply to the exterior portions of a building not being remodeled.
 - iii. Interior Remodel: These regulations shall not apply to interior remodeling of existing buildings.

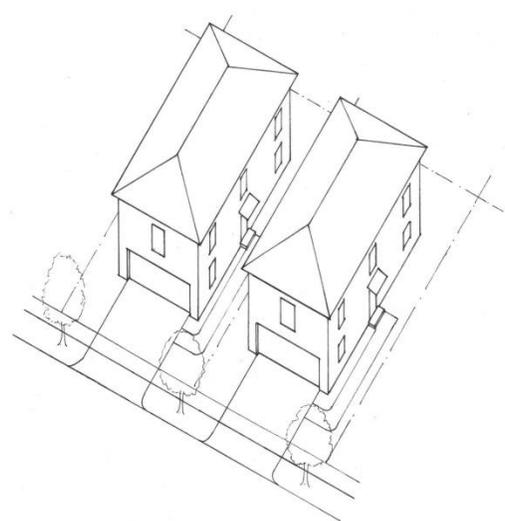
For developments consisting of two or more lots:

Two or more interior contiguous lots that provide a shared driveway to access a garage (s) or parking court located at least 20 feet behind the front façade are eligible for a 10 percent increase in allowed building coverage. This building coverage increase may be used to increase the accessory dwelling unit maximum by 10 percent.

If one or more of the contiguous lots are corner lots then they are only eligible for the 10 percent increase if there is an alleyway or rear service lane provided for access to garages and/or parking courts.



Encouraged configuration.

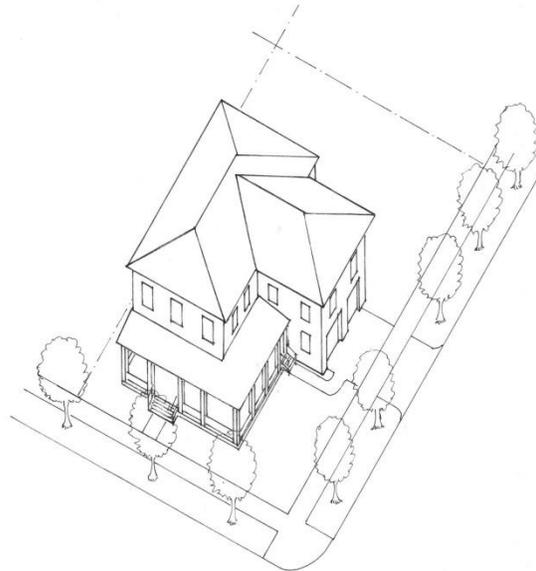


Discouraged configuration.

Corner Lots (Lots that have more than one front line):

If the garage door is visible from the street it shall face the secondary frontage. Garage doors may be located as close to the secondary frontage as the secondary frontage's setback (or side setback) allows.

Garage should be set back 20 feet from the front façade of the primary frontage.

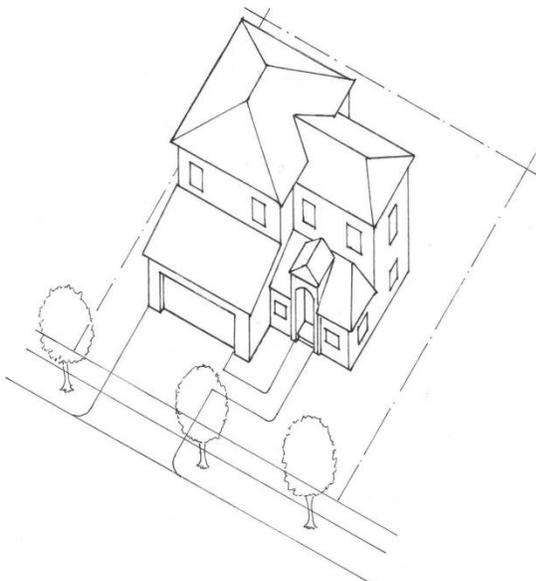


Garage placement:

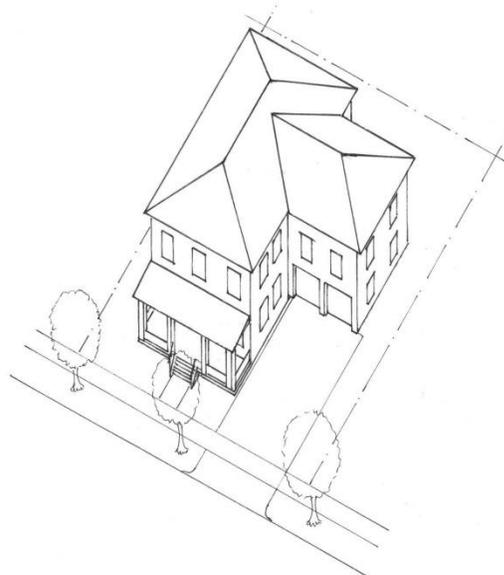
Garages shall be set back at least 20 feet from the front façade of the primary building. In situations where there is more than one wall on the front façade, the measurement shall be taken from the wall closest to the street. If there is more than one front lot line, this standard applies to the front yard that contains the front entry. The width of any garage or carport area may not exceed 50 percent of the front of the primary building. For two-car or three-car garages, multiple single-car doors shall be provided, and they shall be equal in width to each other.

Carport placement:

Carports shall be flush with or located behind the front façade of the primary building. In situations where there is more than one wall on the front façade (e.g., rooms jutting out from the front façade), the carport may not come closer to the street than the primary building's wall that is closest to the street. On corner lots the front façade shall be the façade with the primary entrance.

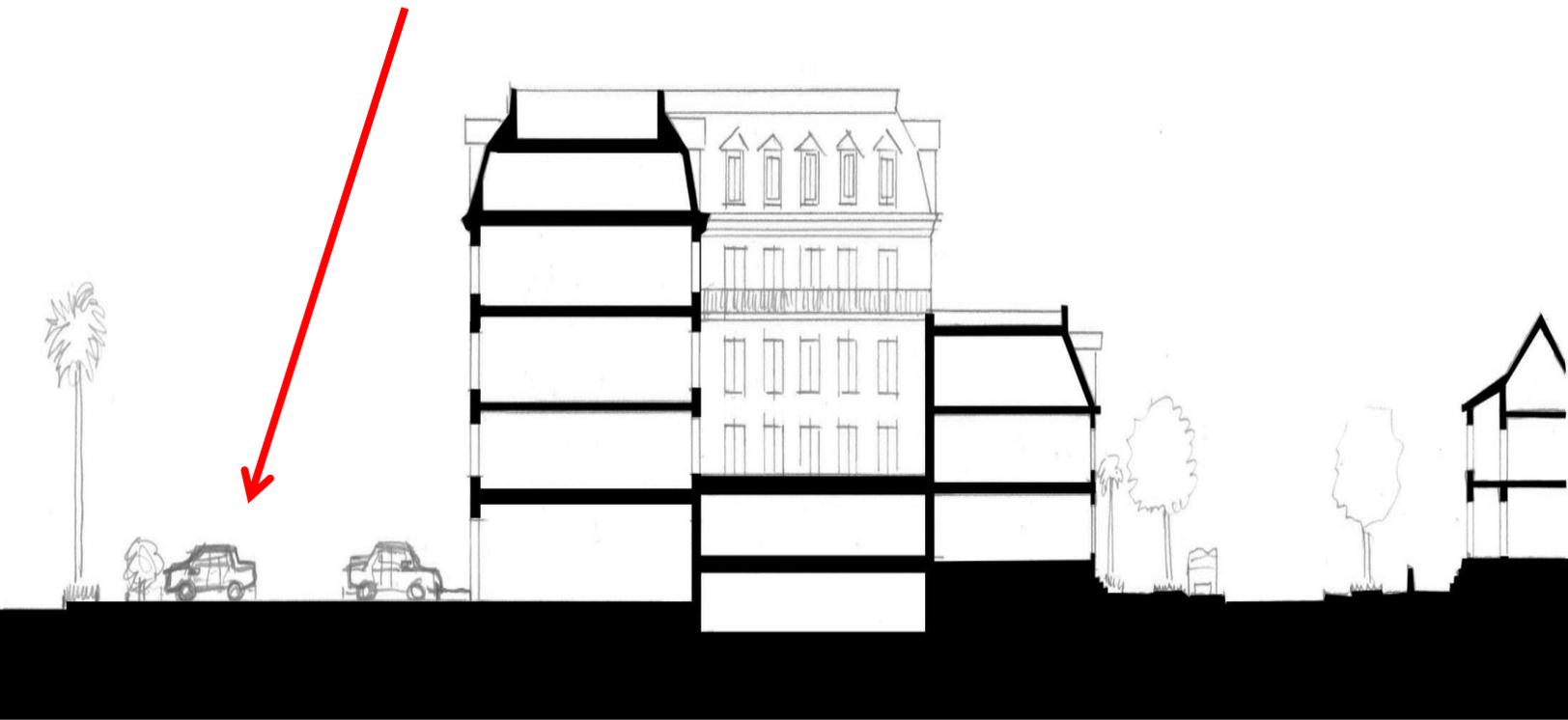


Prohibited configuration. Garage comes forward of the front façade and garage exceeds 50 percent of the width of the building. Garage door is two cars wide.

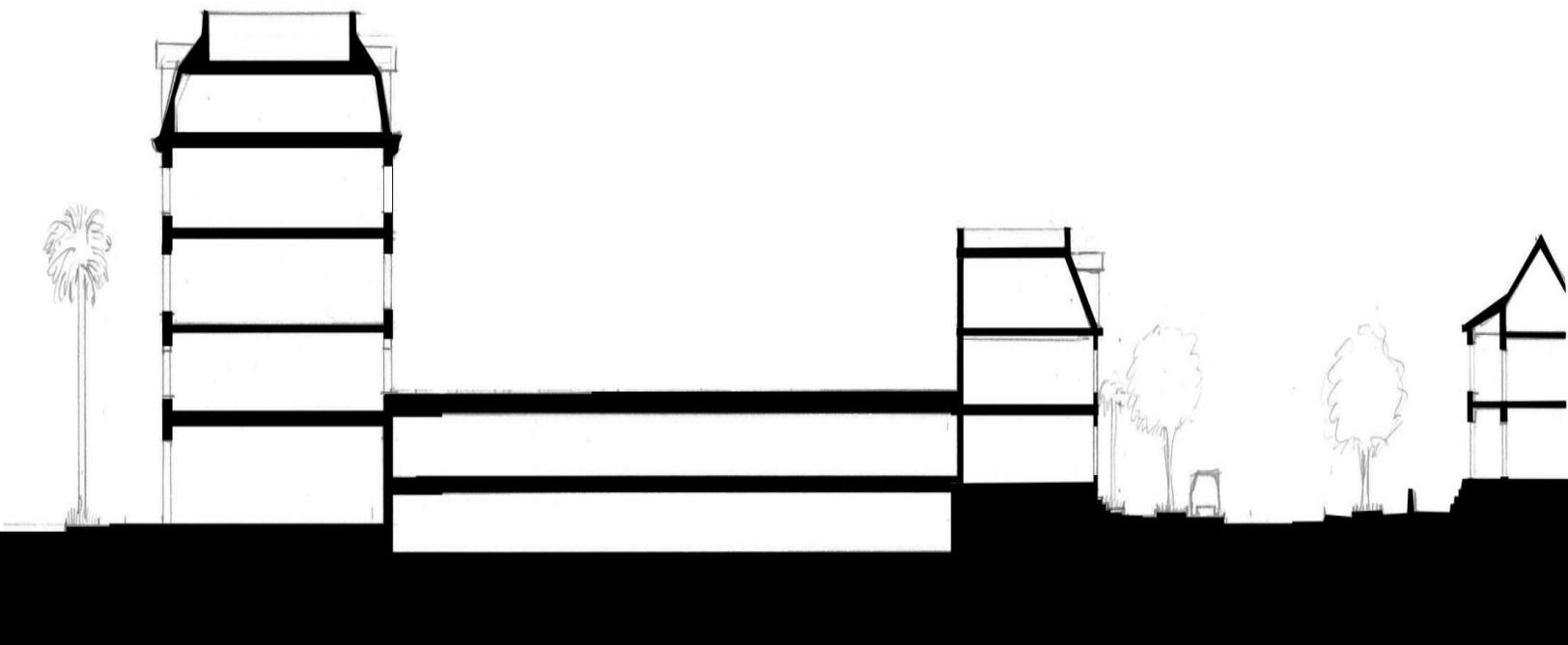


Required configuration. Garage is set back 20 feet behind the front façade and does not exceed 50 percent of the width of the building. A two-car garage is composed of two garage doors.

Conventional Zoning Layout with Parking Lot Frontage

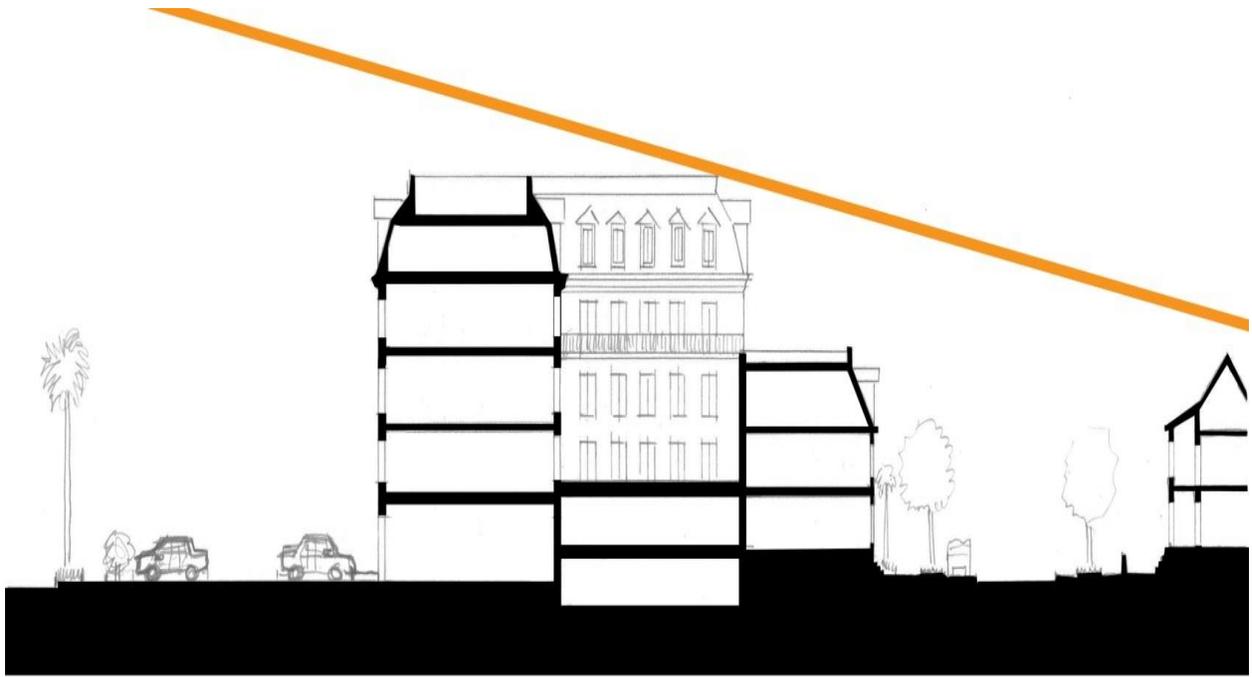


Form-based Code Metrics & Walkable Layout

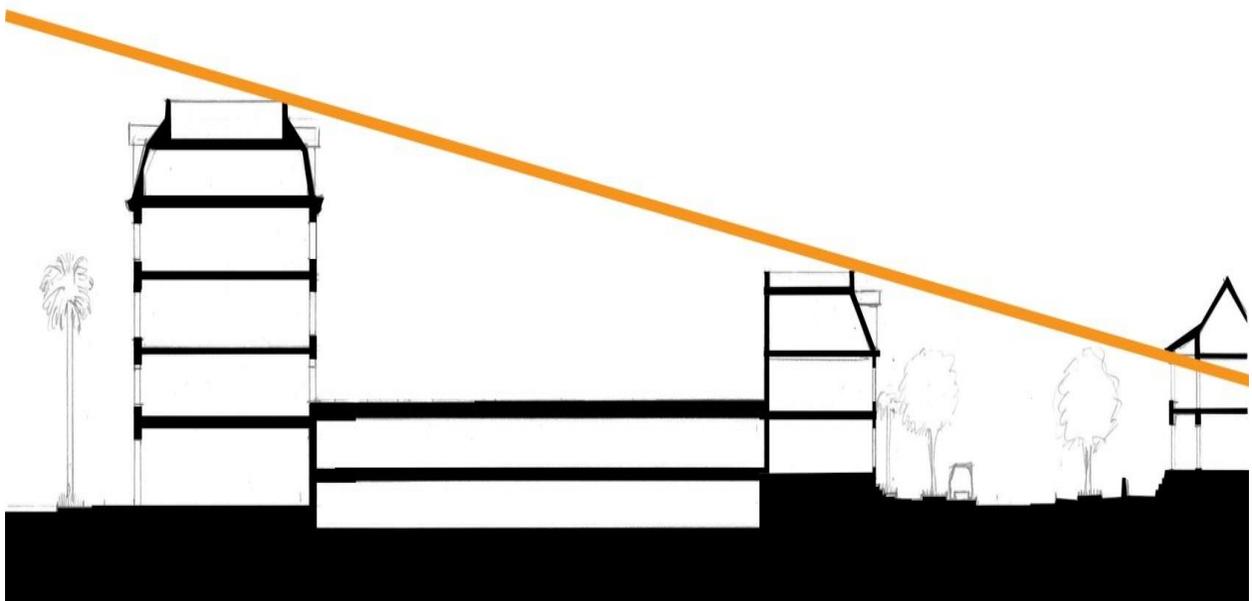


Hotel Site Conceptual Cross-Sections

Shadow Study Late Afternoon



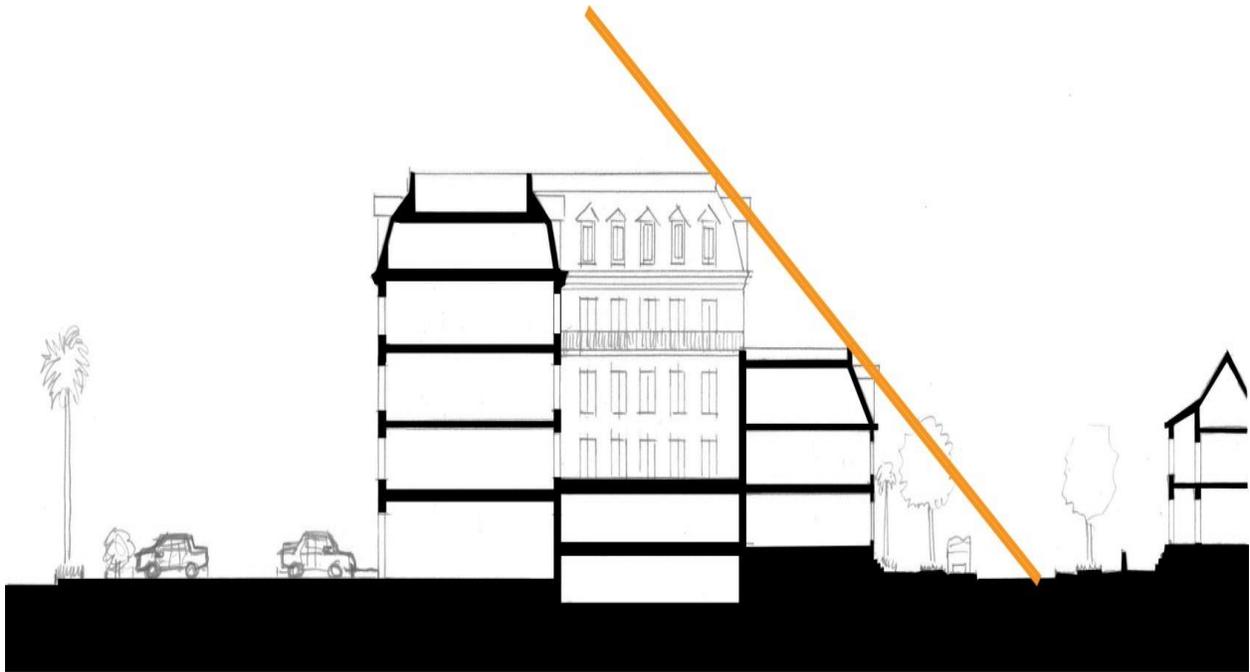
Conventional Zoning Layout with Parking Lot Frontage



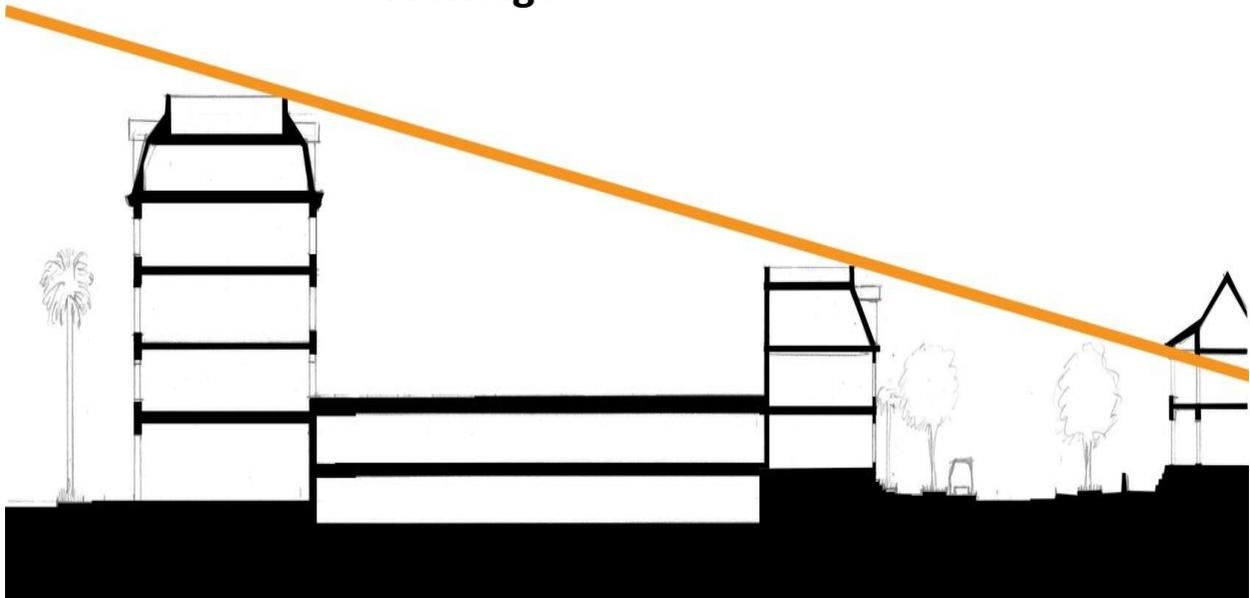
Form-based Code Metrics & Walkable Layout

Visibility Study

At what point is the 5 Story Portion Visible?



Conventional Zoning Layout with Parking Lot Frontage

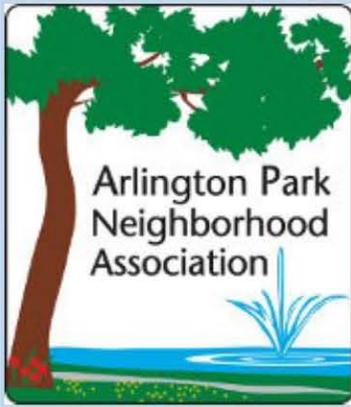


Form-based Code Metrics & Walkable Layout

Conceptual Hotel/Mixed Use Façade – S. Tamiami Trail



Arlington Park Newsletter



Neighborhood Issues & News

September 2014

New House Construction & Tree Removal Major Concerns in Arlington Park Neighborhood

There is a growing concern within the Arlington Park neighborhood regarding house demolition and the design of new construction. A number of residents are concerned that some new houses are inconsistent with the established neighborhood pattern. These new structures have a two story horizontal box-like appearance that is dominated by a blank wall garage façade with poor street interaction.

There is a two-fold concern regarding the construction of some of these houses. First, some significant trees, like live oaks, are being cut down to allow space for this type of construction. Even if the developer plants new trees it will take many decades to replace what was cut down.



Planting and caring for trees are among the most valuable investments we make in our community. Trees enhance property values, slow storm runoff, shade sidewalks, streets, homes and yards. In some cases a permit has not been granted by the city when trees have been recently cut down and a minor fine is imposed upon the builder. Arlington Park is known and appreciated for the many existing trees within our neighborhood. Consequently, not only are houses being built that don't blend in with the overall appearance of the neighborhood, but older native trees are being removed and replaced with exotic trees. New home designs should work around existing trees instead of removing them.

On the positive side, we have observed some new houses being constructed in our neighborhood that blend in well with the surrounding, older homes. On page 2 of this issue the Urban Design Studio presents concepts to address these concerns. They will present extensive information at our October Arlington Park Association meeting regarding this potential text amendment as well as other changes important to our neighborhood. At that time, after our discussion, we hope to present a proposed "Text" amendment, regarding modifying building requirements within our neighborhood, and request a vote for approval. We hope that many of you will attend our October Neighborhood Association meeting to discuss these and other items.

Frederick Farmer

Rick Farmer, President
Arlington Park Neighborhood Association

Inside this issue:

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Draft Catalyst Zone Districts	3
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Arlington Park Pool Reopens
The pool facility reopened in early September following \$1.1 million in improvements, which added new diving platforms and showers, among other enhancements. The city of Sarasota also rebuilt 30-year-old mechanical equipment during the project.



What is the Urban Design Studio (UDS) & What is a Form Based

The City Commission established the Urban Design Studio to work with Citizens and stakeholders to create a city-wide form-based code to replace the City's current zoning code. A form-based code (FBC) and its districts are different than conventional zoning.

Conventional zoning designates permitted uses of land based on mapped zones which separate one set of land uses from another, and while it separates uses it is difficult to determine what the built environment or community will look like upon build out.

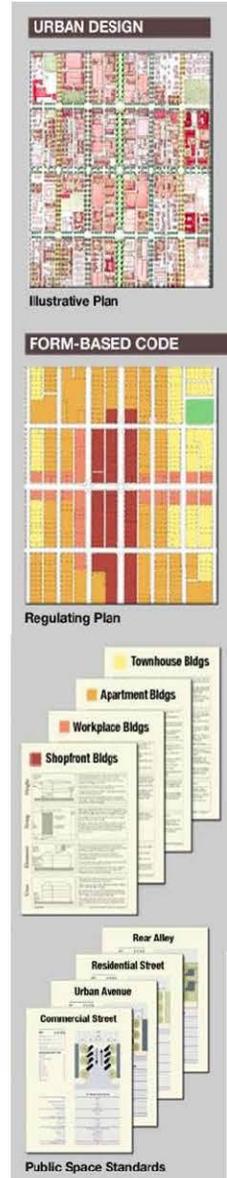
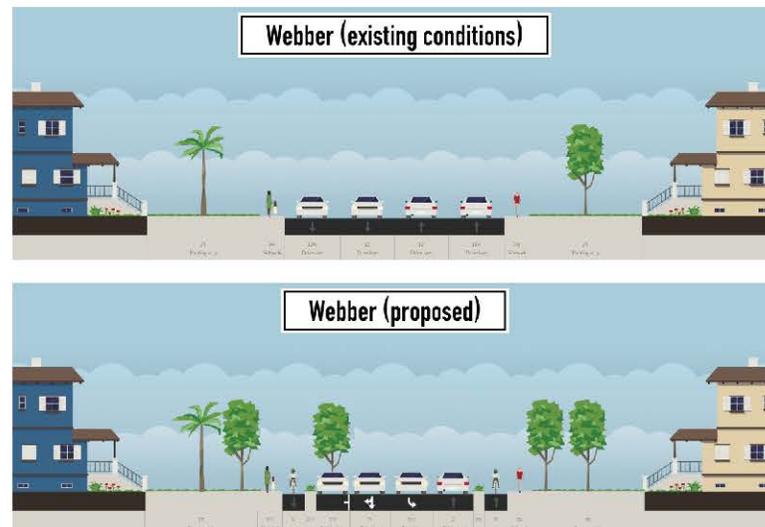
A Form-based code fosters predictable buildings and high-quality public spaces by using physical form (rather than separation of uses) as the organizing principle for the code.

Walkable Multi-Modal Streets

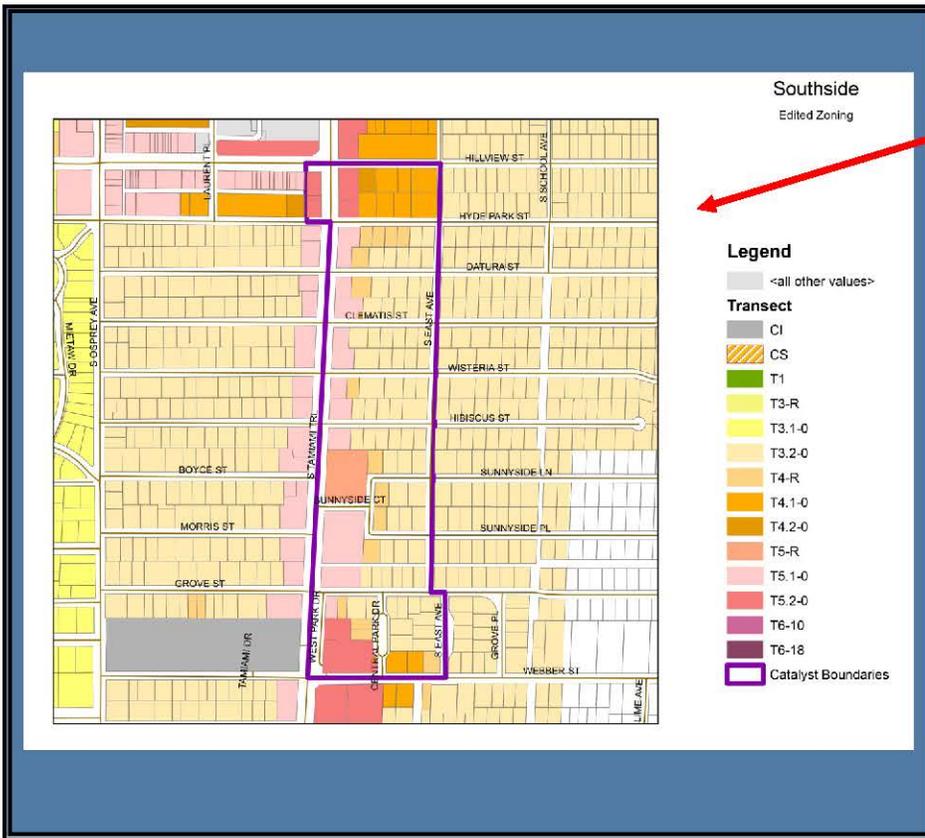


Working with the Neighborhood and property owners UDS has prepared conceptual renderings and graphics to demonstrate how form-based coding could help to transform many of the harsh roadways into more walkable multi-modal streets and corridors.

We will be bringing these and other concepts back to the Neighborhood at our November 15th Workshop For Discussion.



Draft Catalyst Zone Districts for Discussion

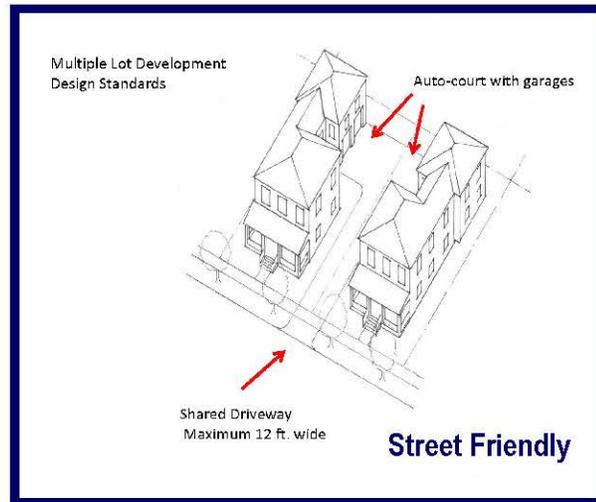


The draft zoning map to the left lays the groundwork for a more livable and walkable S. Tamiami Trail Corridor.



Sample T5 Zone District Building Scale

Neighborhood—Initiated Zoning Text Amendment



Above are illustrations of a zoning test amendment requested by the Arlington Park Neighborhood Association. New infill houses have had an unfortunate relationship to their neighbors and to the street; garage doors have begun to dominate the facades. A number of strategies can correct this, such as tucking garages farther back on the lot and sharing driveways when more than one lot is being developed at the same time.

Save the Date:

Form-Based Code Workshop

Saturday November 15, 2014

9:00 a.m. to 12:00 p.m.

Waldemere Fire Station

Join us to review concepts, and provide feedback on the Form-Based Code Initiative.



*Coming together is a beginning.
 Keeping together is progress.
 Working together is success. - Henry Ford*

APNA
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Sarasota, FL 34202



Studio Phone: 941-365-2200 ext. 3650
 Fax: 941-951-3647
 Email: karin.murphy@sarasotagov.com

Arlington Park Neighborhood Association (APNA)
Meetings, Membership, Boundaries:

Meetings are held the third Tuesday of every month (except for July, August, and December), 7:00 PM, second floor, Waldemere Fire Station (2070 Waldemere Street). Mark your calendar: 2014 - Sep 16, Oct 21, Nov 18. Drawing is held for Winn Dixie \$10 gift cards – must be present to win.

Membership: Do you live in or own a business within the boundaries of APNA? If you answered YES, then you are a member of APNA. No application or annual dues required. Voluntary donations are collected at meetings to pay miscellaneous expenses.

Boundaries: South side of Bahia Vista Street, north side of Webber Street, east side of Tamiami Trail (US41), west side of Tuttle Avenue, excluding properties that are not within the city limits of Sarasota.

APNA Adopted Pledge of Conduct for meetings:

"We may disagree, but we will be respectful of one another. We will direct all comments to issues. We will avoid personal attacks."

Meeting Agendas:

September 16, 2014 TBD

October 21, 2014: Urban Design Studio, City of Sarasota

November 18, 2014: Annual meeting for election of officers. Interested in becoming a board member? Contact President Rick Farmer – (941) 957-0176, rick@frederickfarmer.com

Important Phone Numbers:

Sarasota Police Department: report all criminal and suspicious activity – 316-1199 or 316-1201, Emergencies – 911, Narcotics Hotline – 954-7050

Code Compliance: report trash, overgrown lots, etc. – 954-4125

City Hall: 365-2200

Garbage Pickup: 365-7651

Recycling Program: Waste Management – 753-7591

Animal Services: 861-9500